



Inspection Report

Rob Fairweather

Property Address:
74 County Road 624
Oak Grove Arkansas 72638



South elevation



West elevation



North elevation



East elevation

Abba Home Inspections, LLC

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Huntsville, Arkansas 72740
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Table of Contents

[Cover Page.....1](#)

[Table of Contents.....3](#)

[Intro Page4](#)

[1 Roofing.....5](#)

[2 Exterior.....10](#)

[3 Interiors24](#)

[4 Structural Components39](#)

[5 Plumbing System46](#)

[6 Electrical System48](#)

[7 Heating / Central Air Conditioning.....58](#)

[8 Insulation and Ventilation.....61](#)

[9 Built-In Kitchen Appliances62](#)

[General Summary.....63](#)

[Agreement 106](#)

Date: 1/17/2023	Time: 08:58 AM	Report ID: F-Fairweather8425
Property: 74 County Road 624 Oak Grove Arkansas 72638	Customer: Rob Fairweather	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

This property was constructed approximately in the 1920's and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new building and this structure cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a professional manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in attics, crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older structure. Some older homes have signs of damaged wood from wood destroying insects. Having this kind of damage is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be installed. Always consider hiring the appropriate expert for any repairs or further inspection.

Standards of Practice:

Arkansas Home Inspectors Board-Scope of Practices

In Attendance:

Inspectors

Approximate age of building:

Over 50 Years

Home Faces:

South

Temperature:

41 degrees Fahrenheit

Weather:

Clear

Ground/Soil surface condition:

Damp

Rain in last 3 days:

Yes

1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

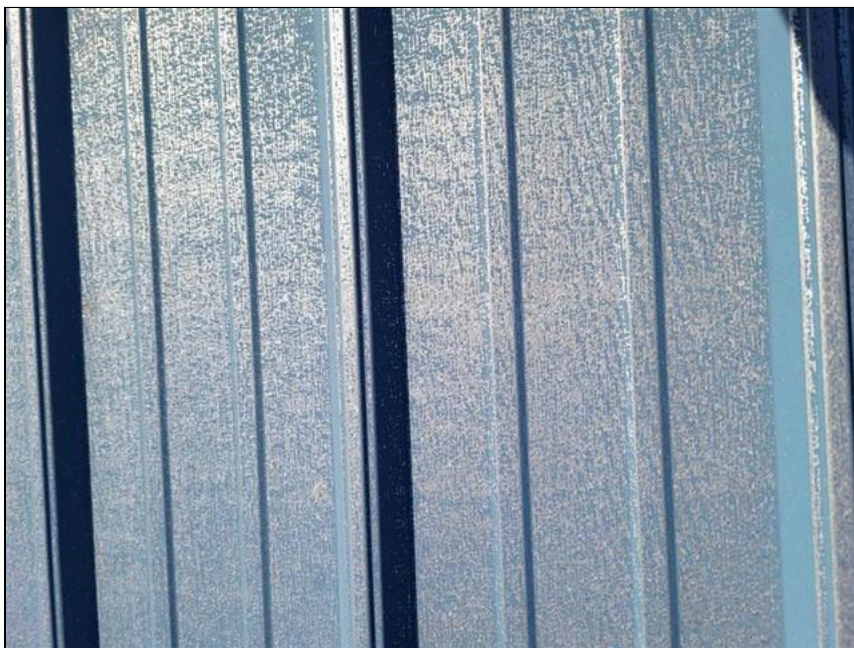
		IN	NI	NP	RR	Styles & Materials
1.0	Roof Coverings	•			•	Roof Covering: Metal
1.1	Flashings	•			•	Viewed roof covering
1.2	Skylights, Chimneys and Roof Penetrations		•			from: Ground Ladder
1.3	Roof Drainage Systems		•	•		

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

1.0 (1) The paint is coming off and the panels may begin to rust in the future.

Install and secure all loose/missing screws, where needed.



1.0 Item 1(Picture) Paint-coming off



1.0 Item 2(Picture) Secure loose screws



1.0 Item 3(Picture) Open area

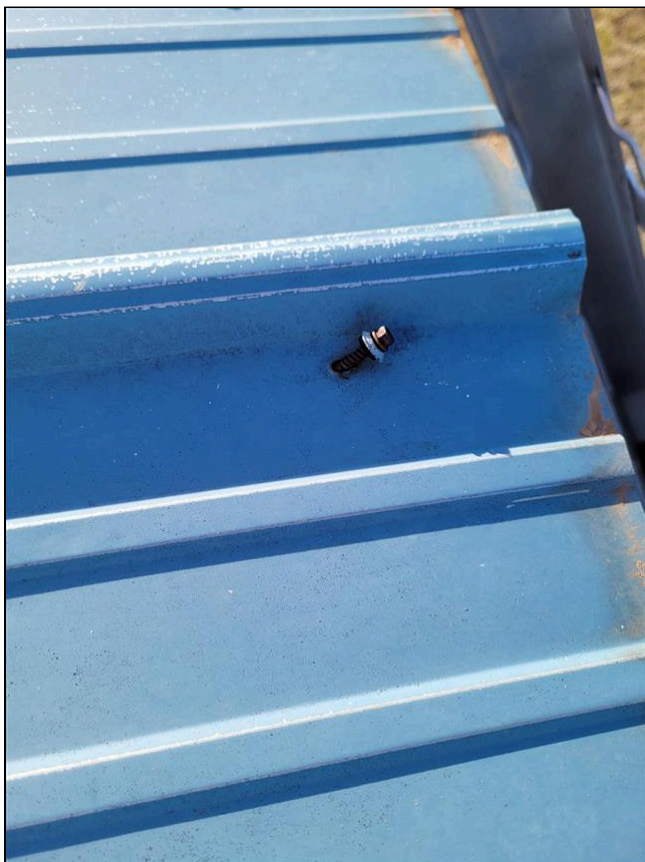


1.0 Item 4(Picture) Missing screws

(2) The overall condition of the metal roof covering appeared to be in acceptable condition at the time of the inspection.

(3) All roofing components were viewed from the ground and from a ladder. This is a limitation to the inspection.

1.1 All areas should be flashed/sealed properly to prevent water intrusion and framing damage.



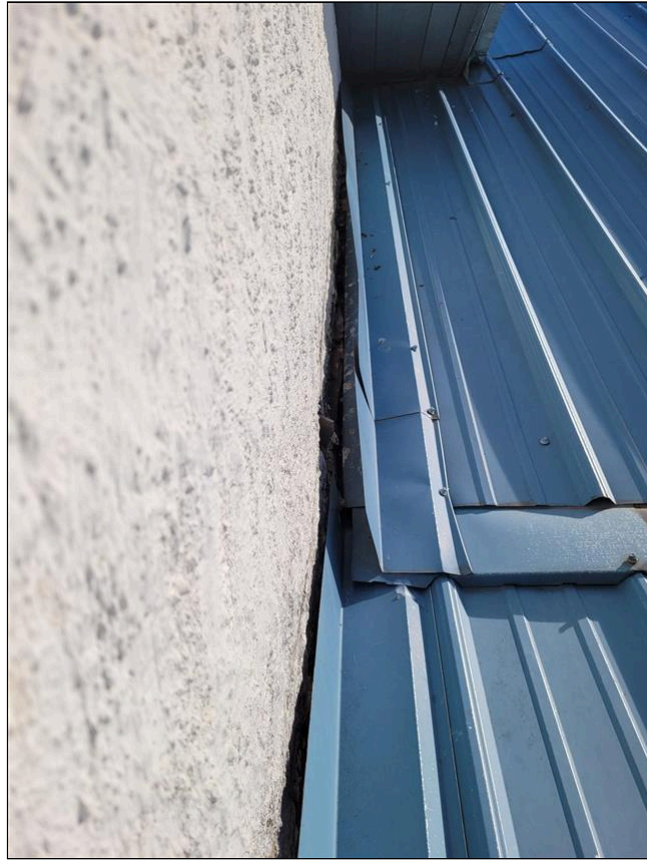
1.1 Item 1(Picture)



1.1 Item 2(Picture) Flash/seal all areas properly



1.1 Item 3(Picture) Flash/seal all areas properly



1.1 Item 4(Picture) Flash/seal all areas properly



1.1 Item 5(Picture) Flash/seal all areas properly/
missing flashing



1.1 Item 6(Picture) Flash/seal all areas properly



1.1 Item 7(Picture) Cracked sealant



1.1 Item 8(Picture) Loose/missing flashing

1.3 I recommend installing gutters and splashblocks to help move water away from the foundation.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior 

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		IN	NI	NP	RR	Styles & Materials
2.0	Wall Cladding, Flashing and Trim	•			•	Siding Material: Stucco
2.1	Doors (Exterior)	•			•	Exterior Entry Doors: Fiberglass or Metal
2.2	Windows	•			•	Driveway: Asphalt
2.3	Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings	•			•	
2.4	Eaves, Soffits and Fascias	•			•	
2.5	Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)	•			•	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

Comments:

2.0 (1) There are numerous areas on the exterior with cracks. Some areas appear to be bulging.

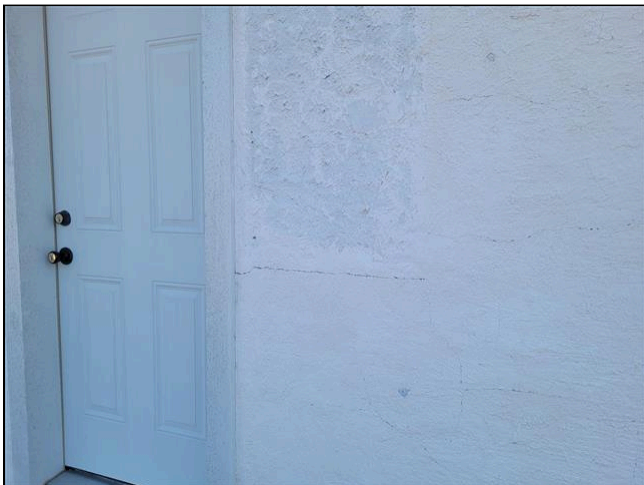
Water could enter and cause framing damage.



2.0 Item 1(Picture) Cracked exterior



2.0 Item 2(Picture) Possible bulging



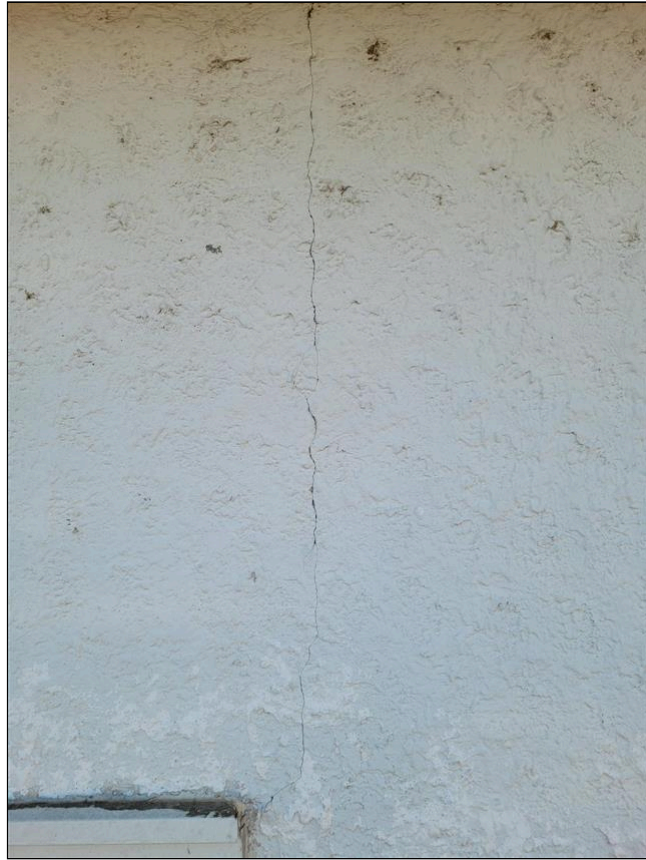
2.0 Item 3(Picture) Cracked exterior



2.0 Item 4(Picture) Cracked exterior



2.0 Item 5(Picture) Cracked exterior



2.0 Item 6(Picture) Cracked exterior

(2) **All components should be scraped and painted, as needed, to prevent deterioration in the future.**



2.0 Item 7(Picture) Scrape/paint-as needed

2.1 (1) *There are door and jambs with damage.*



2.1 Item 1(Picture) Rotten jamb-Southeast side



2.1 Item 2(Picture) Rotten jamb-Southeast side



2.1 Item 3(Picture) Rust holes-Southeast side



2.1 Item 4(Picture) Repaired door-Southwest side



2.1 Item 5(Picture) Rotten jamb, rotten door-North door



2.1 Item 6(Picture) Water intrusion-South door

(2) Replace all damaged threshold seals and weather stripping to prevent any water intrusion into the home and possible damage.



2.1 Item 7(Picture) Replace all damaged threshold seals



2.1 Item 8(Picture) Unsealed door-Southeast door

(3) All doors should be properly flashed to prevent water intrusion and framing damage.



2.1 Item 9(Picture) No visible flashing

(4) *I recommend sealing around all doors to help prevent possible water intrusion and framing damage.*



2.1 Item 10(Picture) Exposed wood

(5) *There is no Z flashing installed above the exterior doors to prevent water intrusion.*

This was not required when this building was constructed. Consider installing in the future.



2.1 Item 11(Picture) No Z flashing-doors

2.2 (1) ***I recommend sealing around all windows to help prevent possible water intrusion and framing damage.***



2.2 Item 1(Picture) Sealant needed-windows



2.2 Item 2(Picture) Rotten window framing

(2) ***The window pane on the North side is missing. Water intrusion into the wall is likely.***



2.2 Item 3(Picture) Missing pane-North side



2.2 Item 4(Picture) Water intrusion likely

(3) **The windows and trim on the East side are aged and should be replaced.**



2.2 Item 5(Picture) Aged windows and trim



2.2 Item 6(Picture) Aged window trim

(4) **There is no Z flashing installed above the windows to prevent water intrusion.**

This was not required when this building was constructed. Consider installing in the future.



2.2 Item 7(Picture) No Z flashing-windows

2.3 I recommend installing a step and handrail system on the West side.



2.3 Item 1(Picture) Step and handrail needed-West side

2.4 There are areas that are aged/damaged and need replaced.



2.4 Item 1(Picture) Open soffit area



2.4 Item 2(Picture) Aged soffit material



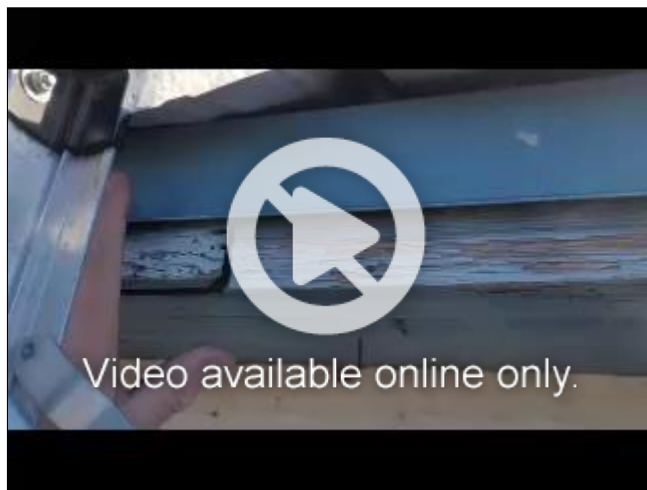
2.4 Item 3(Picture) Dropping fascia



2.4 Item 4(Picture) Hole-soffit



2.4 Item 5(Picture) Damaged soffit material

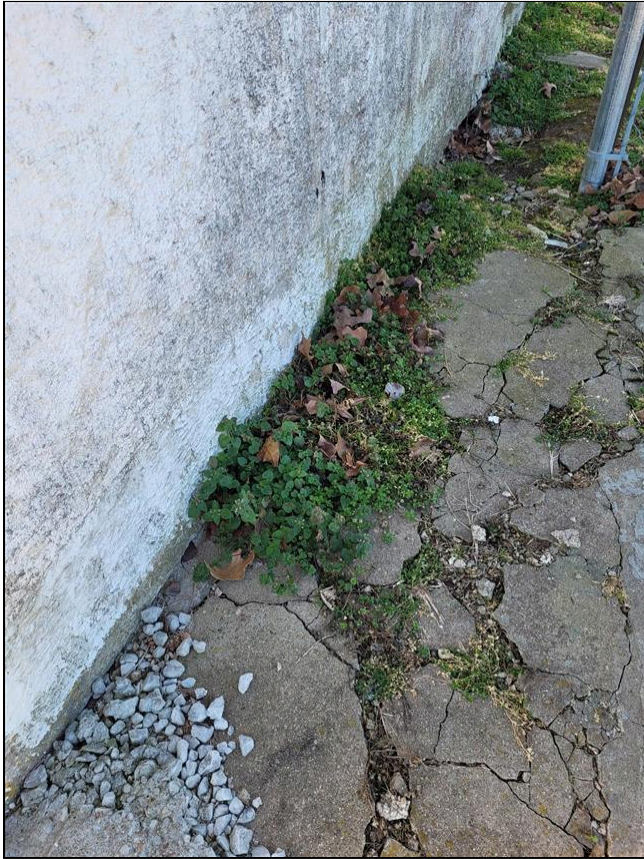


2.4 Item 6(Video) Loose fascia



2.4 Item 7(Picture) Aged soffit material

2.5 (1) All areas of grading on the exterior should cause the water to drain away from the foundation to prevent water intrusion.



2.5 Item 1(Picture) Improper grading method



2.5 Item 2(Picture) Improper grading method



2.5 Item 3(Video) Improper grading

(2) **Damaged concrete**



2.5 Item 4(Picture) Damaged concrete



2.5 Item 5(Picture) Damaged concrete

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

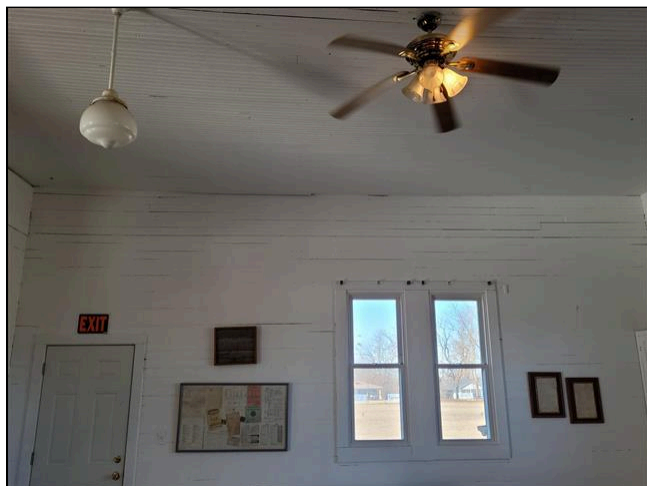
		IN	NI	NP	RR	Styles & Materials
3.0	Ceilings	•			•	Ceiling Materials: Wood
3.1	Walls	•			•	Floor Covering(s): Concrete
3.2	Floors	•			•	Interior Doors: Hollow core Wood
3.3	Steps, Stairways, Balconies and Railings	•			•	Window Types: Aged Double-hung Fixed Single-hung
3.4	Counters, Cabinets and Trim	•			•	
3.5	Doors (representative number)	•			•	
3.6	Windows (representative number)	•			•	
3.7	Pest control needed (insects, vermin, animals, etc....)	•			•	

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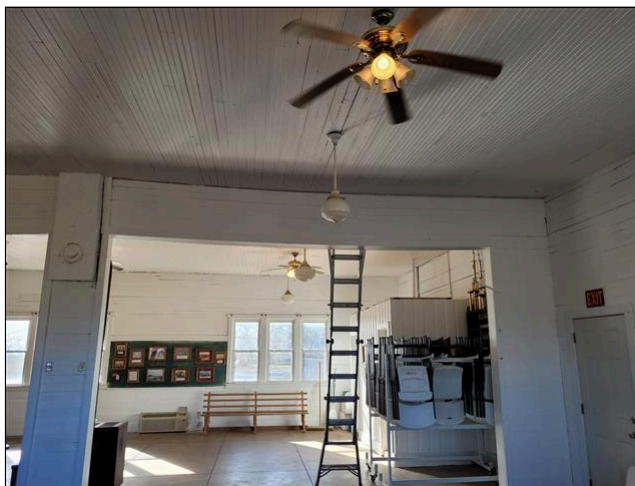
Comments:

3.0 The ceiling appears to be sagging on the West side.

There is evidence of settling on the ceilings.



3.0 Item 1(Picture) West side ceiling-sagging



3.0 Item 2(Picture) Main beam-appears to be sagging

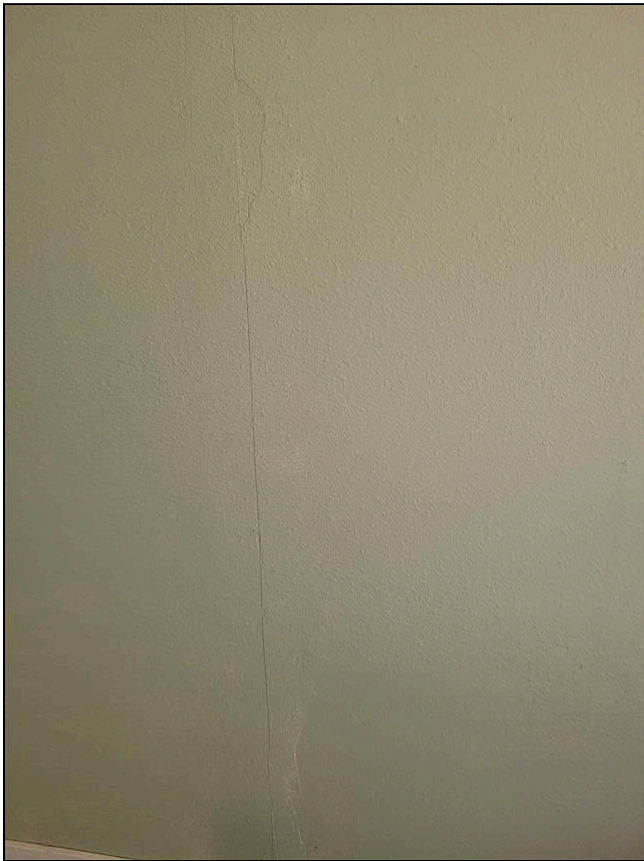


3.0 Item 3(Picture) Main beam-appears to be sagging

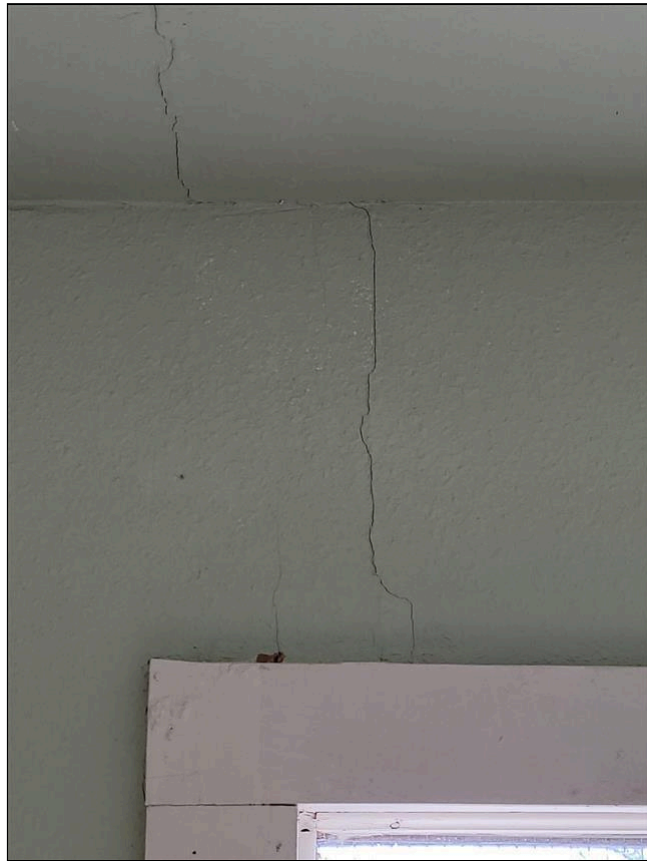


3.0 Item 4(Picture) School room ceiling-settling crack

3.1 The following walls had issues: East school room and main room.



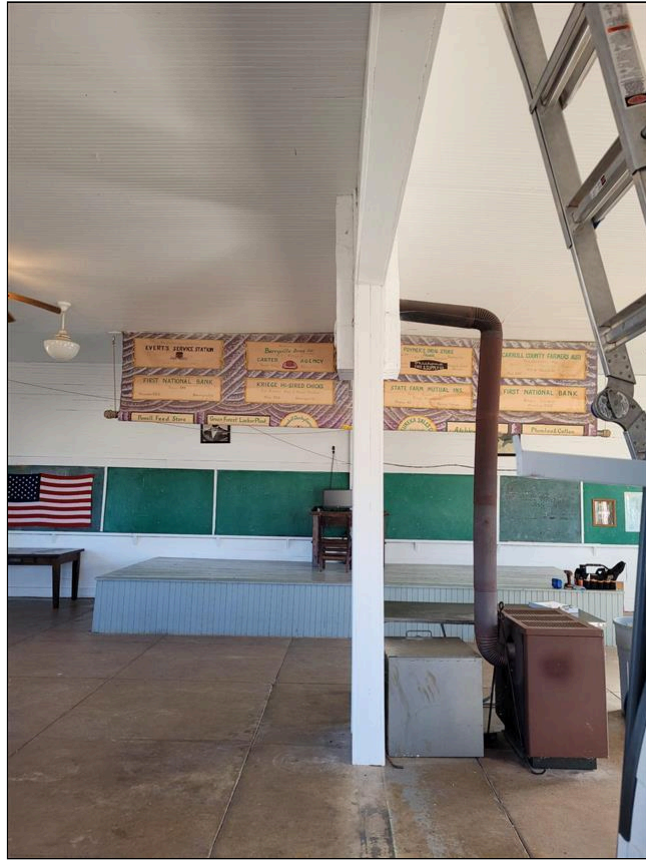
3.1 Item 1(Picture) East school room wall-settling cracks



3.1 Item 2(Picture) East school room wall-settling cracks



3.1 Item 3(Picture) East school room wall-possible wood destroying insect damage



3.1 Item 4(Picture) Main room supporting wall-appears to be leaning to the North

3.2 (1) There appears to be evidence of water stains on the floor of the East school room. I am unable to determine the amount of water that could enter or the frequency that this could occur.



3.2 Item 1(Picture) Previous water staining



3.2 Item 2(Picture) Previous water staining

(2) *The floor had several settling cracks and gaps on the slab.*



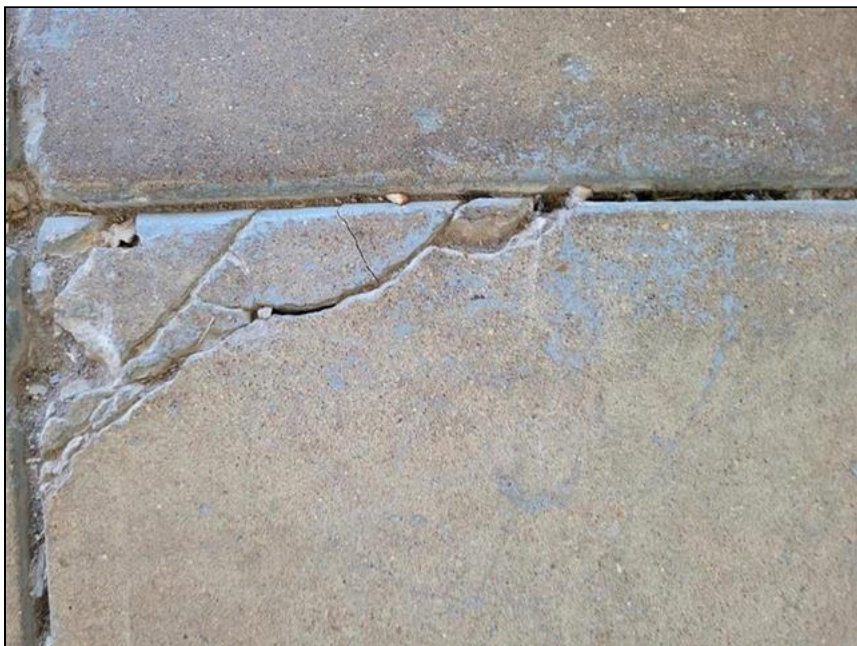
3.2 Item 3(Picture) Floor-gap in concrete



3.2 Item 4(Picture) Floor-settling cracks



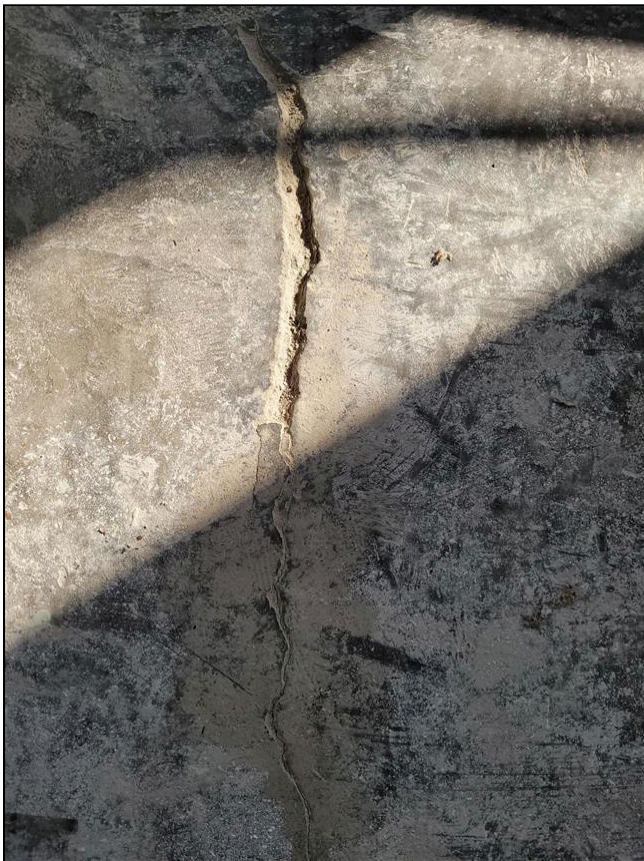
3.2 Item 5(Picture) Entry door floor-gap



3.2 Item 6(Picture) Floor-damage



3.2 Item 7(Picture) Floor-settling cracks



3.2 Item 8(Picture) East school room floor-large settling cracks



3.2 Item 9(Picture) Front door ramp-loose

3.3 *A hand rail system is needed for the stage area and for the steps entering the East school room.*



3.3 Item 1(Picture) Handrail-needed for the stage

3.4 *There is some damaged window trim.*



3.4 Item 1(Picture) Damaged window trim-bathroom



3.4 Item 2(Picture) East school room trim-possible would destroying insect damage

3.5 (1) *The bathroom doors were damaged and are missing the latches.*



3.5 Item 1(Picture) Men's bathroom door-missing latch



3.5 Item 2(Picture) Men's bathroom door-damaged



3.5 Item 3(Picture) Women's bathroom door-missing latch



3.5 Item 4(Picture) Women's bathroom door-damaged

(2) The West exterior door sticks and may need adjusted.

3.6 There are windows were double, single, and fixed hung with damage to several exterior screens.

The East school room windows were fixed and one was missing the pane.

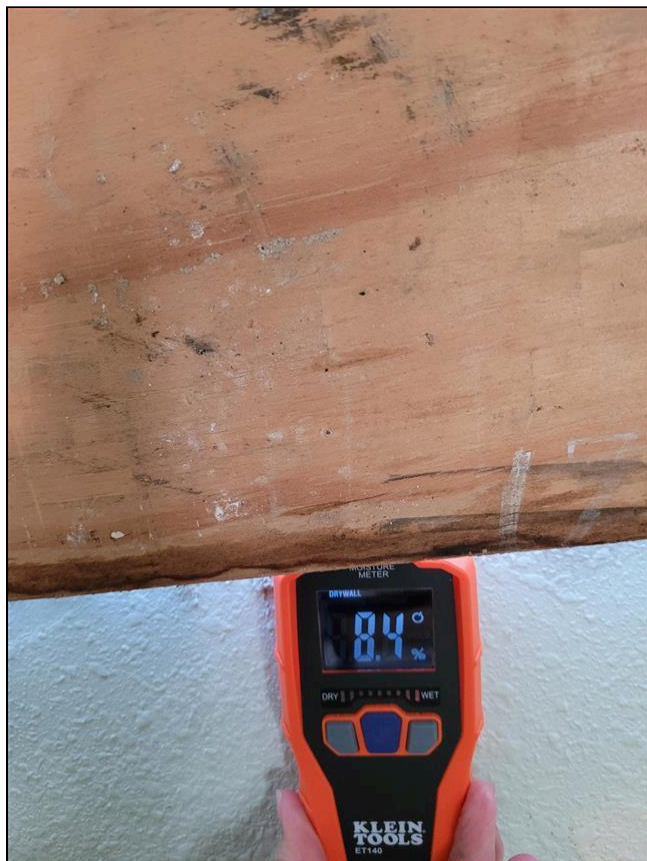
There were low moisture levels around the North window at the time of the inspection.



3.6 Item 1(Picture) Window exterior screens-damaged



3.6 Item 2(Picture) East school room window-missing pane



3.6 Item 3(Picture) East school room window area-low moisture reading

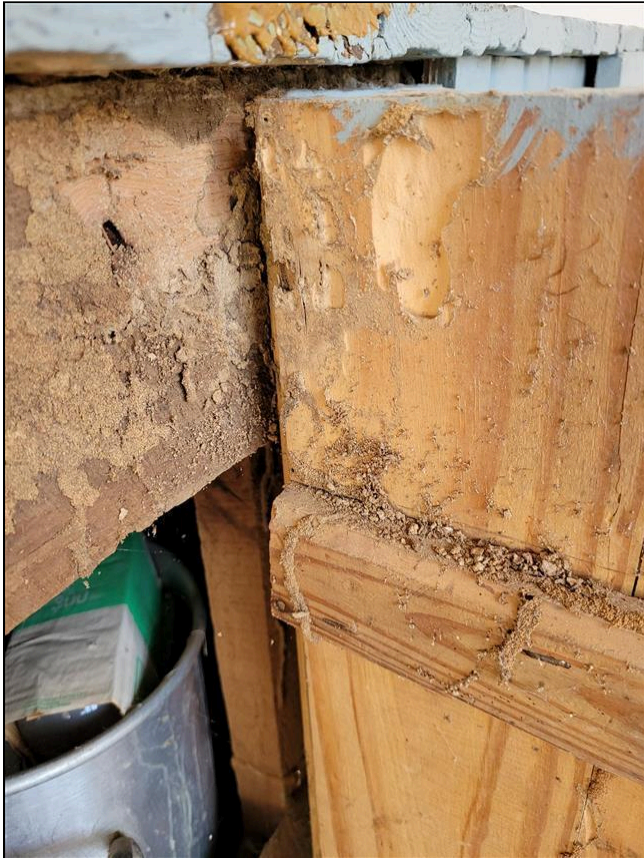
3.7 *There is evidence of wood destroying insect activity in the building. Further investigation is recommended.*



3.7 Item 1(Picture) Wood destroying insect activity



3.7 Item 2(Picture) Wood destroying insect activity



3.7 Item 3(Picture) Wood destroying insect activity



3.7 Item 4(Picture) Wood destroying insect activity

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		IN	NI	NP	RR	Styles & Materials
4.0	Foundations, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•			•	Floor Structure: Slab Method used to observe
4.1	Walls (Structural)	•			•	Crawlspace/Basement: No crawlspace
4.2	Floors (Structural)	•			•	Ceiling Structure: 1X6 Extra Info : Insufficient
4.3	Ceilings (Structural)	•			•	Roof Structure: 2 X 6 Rafters Stick-built
4.4	Roof Structure, Attic, and Attic ladder	•			•	Method used to observe attic: From entry Attic info: Scuttle hole

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

4.0 (1) There are walls that appear to be sitting on wooden components. Deterioration is present. Concrete footings may not be present.

Previous evidence of wood destroying insect activity is present.

There are cracks on the foundation area on the exterior.



4.0 Item 1(Picture) Wood-no visible concrete footing



4.0 Item 2(Picture) Wood destroying insect activity



4.0 Item 3(Picture) Cracks



4.0 Item 4(Picture) Cracks

(2) The concrete appears to have areas that were not poured at the same time as the rest of the slab. Settling could occur in these areas.



4.0 Item 5(Picture) Exterior wall-slab area not continuous



4.0 Item 6(Picture) Exterior wall-slab area not continuous

4.1 Water may be entering the wall areas.

There is evidence of wood destroying insect activity. Further investigation is recommended.

4.2 The slab has areas of settling. Further investigation may be needed.

4.3 There are areas that appear to have insufficient support on the ceiling joist areas. Sagging appears to be present.

Interior walls appear to have been removed. This appears to be allowing settling to happen to the ceiling joists.

The spans on the framing components appear to be long without supporting walls.

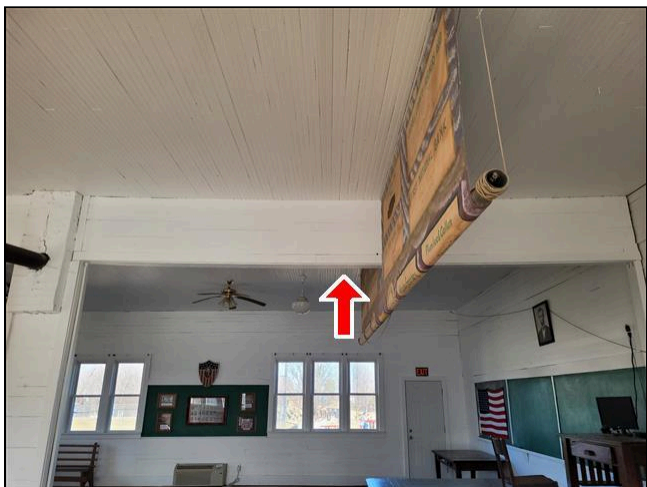
I recommend a qualified professional investigate all areas further and advise on all repairs that are needed.



4.3 Item 1(Picture) 1"x6" ceiling joists



4.3 Item 2(Picture) 1"x6" ceiling joists



4.3 Item 3(Picture) Sagging



4.3 Item 4(Picture) Sagging

4.4 (1) *There are many areas of roof framing that are not to current standards. Many areas appear to need beams and supports added to prevent possible failure in the future.*

There are areas that are not supported correctly. This appears to be allowing settling to happen.

Many areas have missing roof purlins. I recommend a qualified professional investigate all areas further and advise on all repairs that are needed.



4.4 Item 1(Picture) Sagging framing area/incorrect anchoring method



4.4 Item 2(Picture) Missing purlins



4.4 Item 3(Picture) Missing purlins



4.4 Item 4(Picture) Missing purlins



4.4 Item 5(Picture) Improper framing method



4.4 Item 6(Picture) Missing roof supports



4.4 Item 7(Picture) Improper roof support anchoring method

(2) All framing in the attic space was observed from the scuttle hole area only. I did not feel safe walking the attic, in the event of failure of the framing. This is a limitation to the inspection.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

		IN	NI	NP	RR
5.0	Plumbing Drain, Waste and Vent Systems	•			•
5.1	Plumbing Water Supply, Distribution System and Fixtures		•		
5.2	Hot Water Systems, Controls, Chimneys, Flues and Vents		•		
5.3	Main Water Shut-off Device (Describe location)		•		

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IN NI NP RR

Comments:

5.0 The DWV pipe above the bathrooms does not exit through the roof. DWV pipes should vent to the exterior.



5.0 Item 1(Picture) DWV pipe-not exiting roof area

5.1 The water was turned off to the building and no plumbing components were able to be tested.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

		IN	NI	NP	RR	Styles & Materials
6.0	Service Entrance Conductors	•				Electrical Service Conductors: Below ground 220 volts Panel capacity: 100 AMP breaker panel Electric Panel Manufacturer: EATON Panel Type: Circuit breakers Fuses
6.1	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels	•			•	
6.2	Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)	•			•	
6.3	Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure	•			•	
6.4	Operation of GFCI & AFCI (Ground/ARC Fault Circuit Interrupters)		•	•	•	
6.5	Location of Main and Distribution Panels	•				
6.6	Smoke Detectors		•	•	•	
6.7	Carbon Monoxide Detectors		•	•	•	

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

6.1 (1) *I recommend a licensed electrician evaluate the entire electrical system and advise on all repairs that are needed.*

(2) *Service disconnect panel*

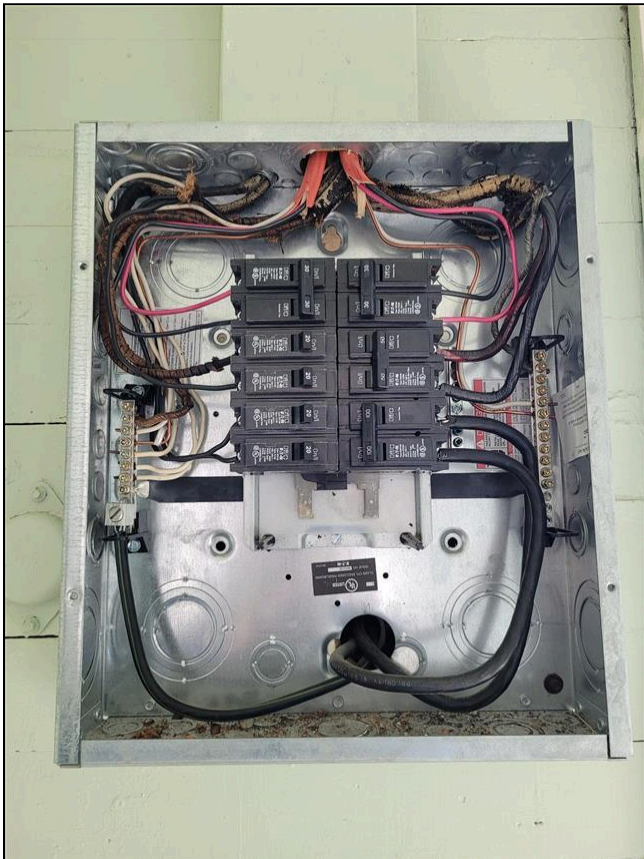


6.1 Item 1(Picture) Locked-not inspected

(3) Main panel

Bushings are needed in the main panel to prevent wire chafing and possibly energizing the panel.

There is aged fabric wiring installed in the panel.



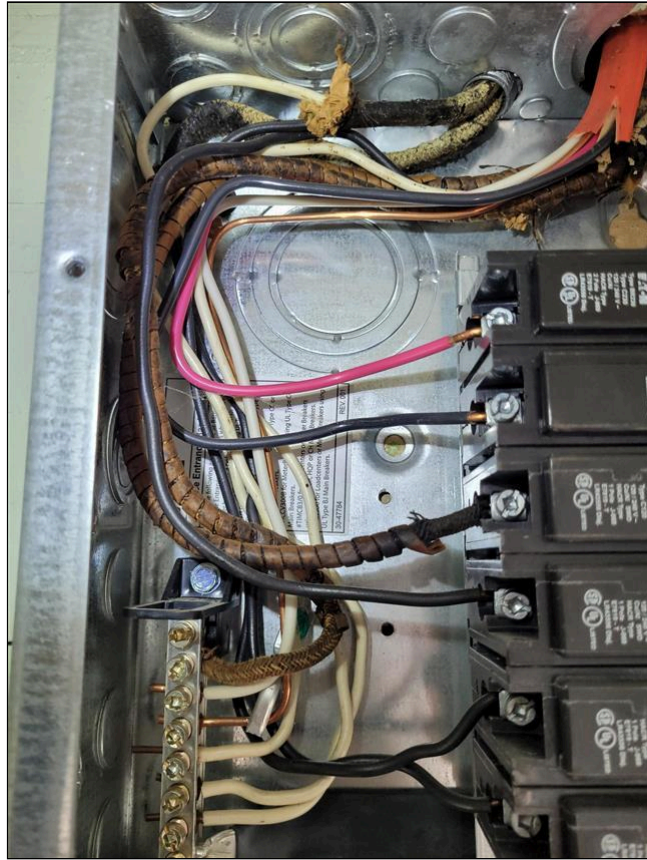
6.1 Item 2(Picture) Main panel



6.1 Item 3(Picture) Bushing needed

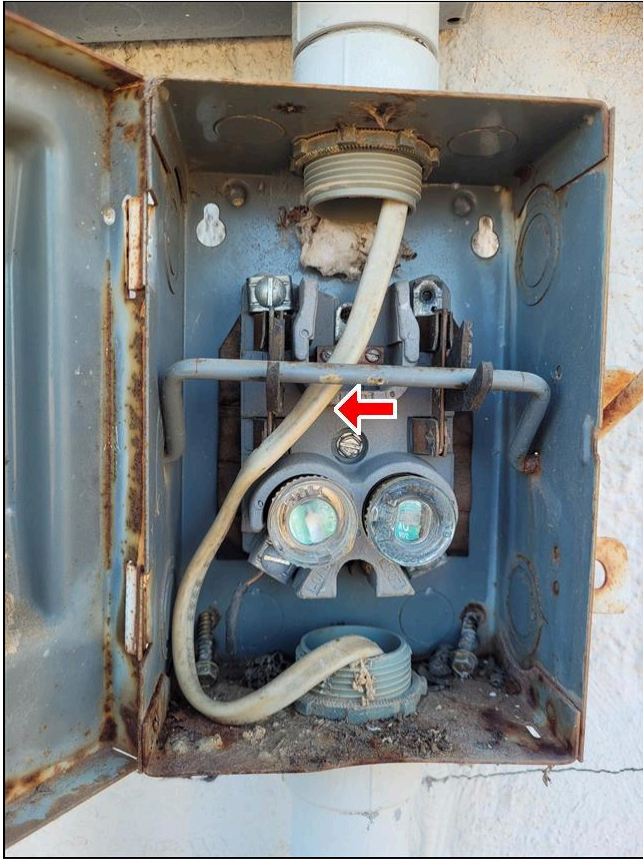


6.1 Item 4(Picture) Bushing needed



6.1 Item 5(Picture) Aged fabric covered wiring

(4) The wire in the fuse panel is interfering with throwing the switch. The panel did not appear to have power at the time of the inspection.



6.1 Item 6(Picture) Wire-interference

(5) Sub-panel

Breaker turned off, not inspected



6.1 Item 7(Picture) Score board breaker-turned off, not tested

(6) *Anchor the service disconnect panel to the exterior wall.*



6.1 Item 8(Picture) Anchor disconnect panel

6.2 The dimmer switches appeared to be overheating within 30 minutes of our arrival.

The lights in the main area did not work at the time of the inspection.

The main area had exposed wiring. Conduit is recommended to prevent accidental damage to wires.



6.2 Item 1(Picture) Dimmer switches-overheating/no switch covers



6.2 Item 2(Picture) Main area light-did not work



6.2 Item 3(Picture) Exposed wiring-conduit needed



6.2 Item 4(Picture) Exposed wiring-conduit needed

6.3 There were open grounds throughout the facility.

Most of the outlets were 2 prong outlets.

Aged fabric wiring is present.



6.3 Item 1(Picture) Electrical outlets-open grounds



6.3 Item 2(Picture) Aged fabric wiring

6.4 GFCI's should be installed in all areas where required.

None were installed.

6.5 The service disconnect panel is located on the West exterior wall.

The main panel is located on the West interior bathroom wall.

6.6 I recommend the installation of smoke detectors according to manufacturers instructions.

6.7 We do not inspect carbon monoxide detectors. I recommend that they be installed according to the manufacturer's instructions.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

		IN	NI	NP	RR	Styles & Materials
7.0	Heating Equipment	•				Heat System
7.1	Cooling and Air Handler Equipment		•			Manufacturer: GREE
7.2	Presence of Installed Heat/Cooling Source in Each Habitable Room	•				Energy Source: Electric
7.3	Chimneys, Flues and Vents (for fireplaces, gas water heaters or heat systems)		•		•	Number of Heat Systems (excluding wood): Two
7.4	Solid Fuel Heating Devices (Woodstove)		•		•	Central Air Manufacturer: GREE
						Cooling Equipment Energy Source: Electricity
						Number of AC Only Units: Two
						Fireplaces/Woodstoves: Wood burning

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

7.0 (1) Both of the wall heaters worked when tested.

(2) No information was taken for the electrical requirements for the HVAC systems. This is a limitation to the inspection.

7.1 The A/C units were not tested in cooling mode due to the outside air temperature being 65 degrees or less. Testing can cause permanent damage to the compressor. No AC units were tested in cooling mode.

(2) There was no HVAC installed in the East school room.

7.3 (1) The chimney liner was not inspected by our company. I recommend a qualified chimney sweep inspect for safety.

(2) The bricks under the chimney appear to have been removed. This could result in collapse of the brick chimney.



7.3 Item 1(Picture) Removed brick chimney



7.3 Item 2(Picture) Possible settling of bricks

7.4 (1) *I recommend that a qualified chimney sweep inspect, and clean the flue pipe before using the fireplace/ woodstove.*



7.4 Item 1(Picture) No visible chimney cap

(2) *Wood burning stove-for info only*



7.4 Item 2(Picture) Wood burning stove-for info only

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

		IN	NI	NP	RR	Styles & Materials
8.0	Insulation in Attic		•	•	•	Attic Insulation: None
8.1	Ventilation of Attic and Foundation Areas	•			•	Ventilation: Gable vents Ridge vents
8.2	Venting Systems (Kitchens, Baths and Laundry)		•	•		Exhaust Fans: None

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

8.0 I recommend that the attic space be insulated to an R-38 factor for maximum efficiency.

8.1 The attic should be sealed to prevent access to animals.



8.1 Item 1(Picture) Damaged attic vent material

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

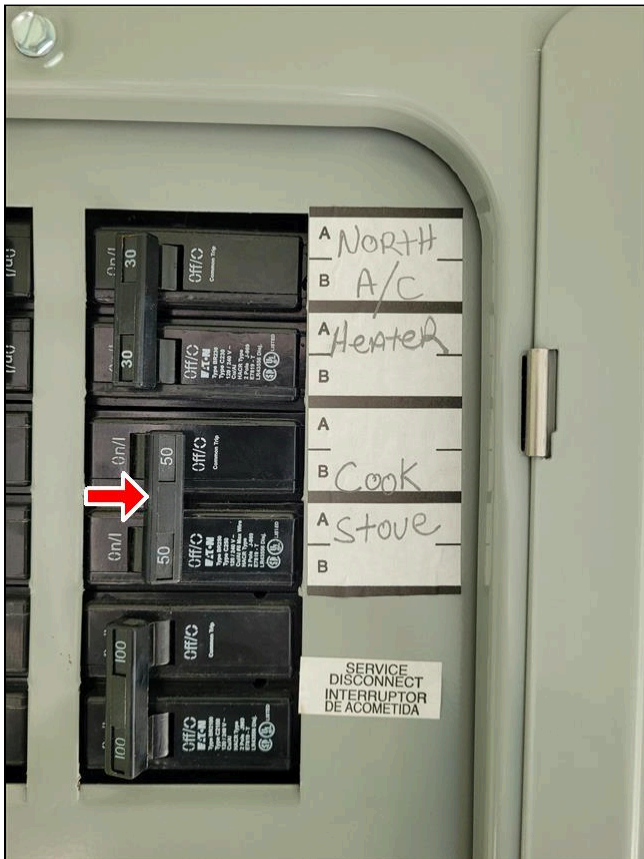
9. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

		IN	NI	NP	RR
9.0	Range/Oven		•		
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace		IN	NI	NP	RR

Comments:

9.0 Breaker turned off-outlet not tested



9.0 Item 1(Picture) Breaker turned off-not tested

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



312 Madison 1435
Huntsville, Arkansas 72740
(479) 789-4343

Customer
Rob Fairweather

Address
74 County Road 624
Oak Grove Arkansas 72638

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 Roof Coverings

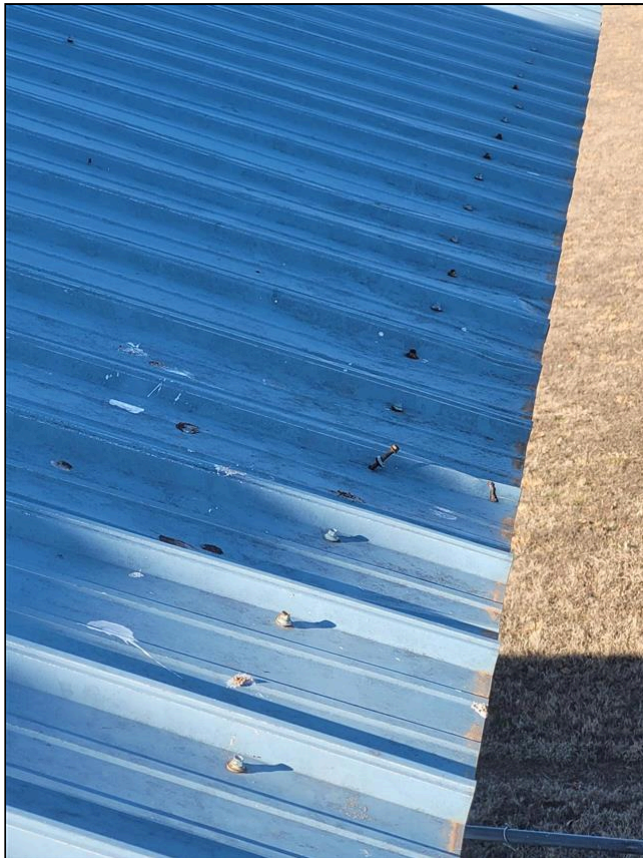
Inspected, Repair or Replace

(1) *The paint is coming off and the panels may begin to rust in the future.*

Install and secure all loose/missing screws, where needed.



1.0 Item 1(Picture) Paint-coming off



1.0 Item 2(Picture) Secure loose screws



1.0 Item 3(Picture) Open area



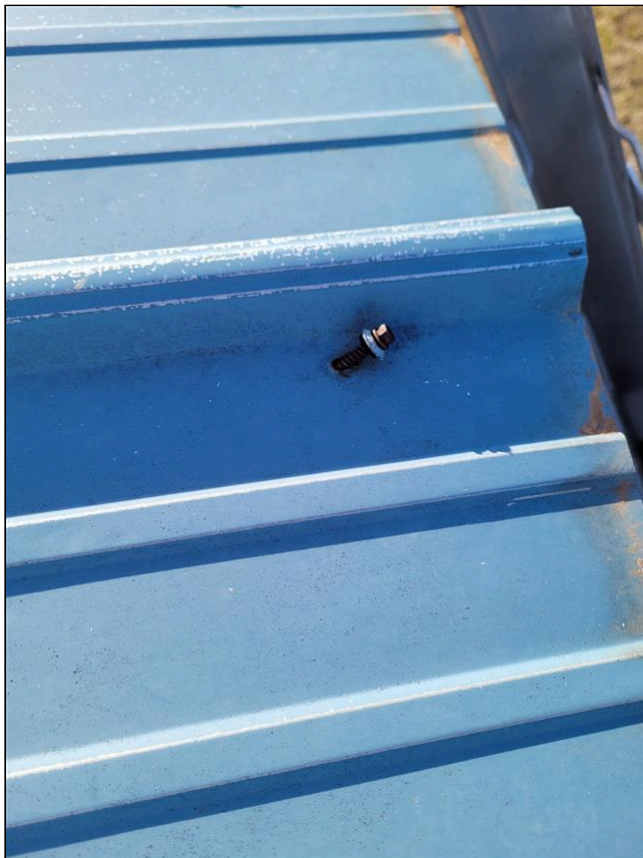
1.0 Item 4(Picture) Missing screws

(2) **The overall condition of the metal roof covering appeared to be in acceptable condition at the time of the inspection.**

1.1 Flashings

Inspected, Repair or Replace

All areas should be flashed/sealed properly to prevent water intrusion and framing damage.



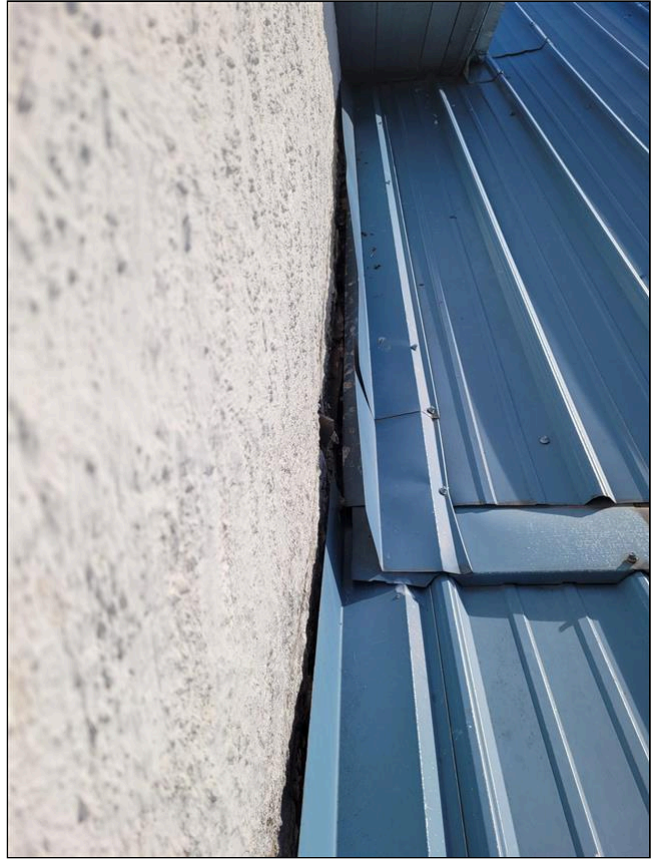
1.1 Item 1(Picture)



1.1 Item 2(Picture) Flash/seal all areas properly



1.1 Item 3(Picture) Flash/seal all areas properly



1.1 Item 4(Picture) Flash/seal all areas properly



1.1 Item 5(Picture) Flash/seal all areas properly/
missing flashing



1.1 Item 6(Picture) Flash/seal all areas properly



1.1 Item 7(Picture) Cracked sealant



1.1 Item 8(Picture) Loose/missing flashing

2. Exterior



2.0 Wall Cladding, Flashing and Trim

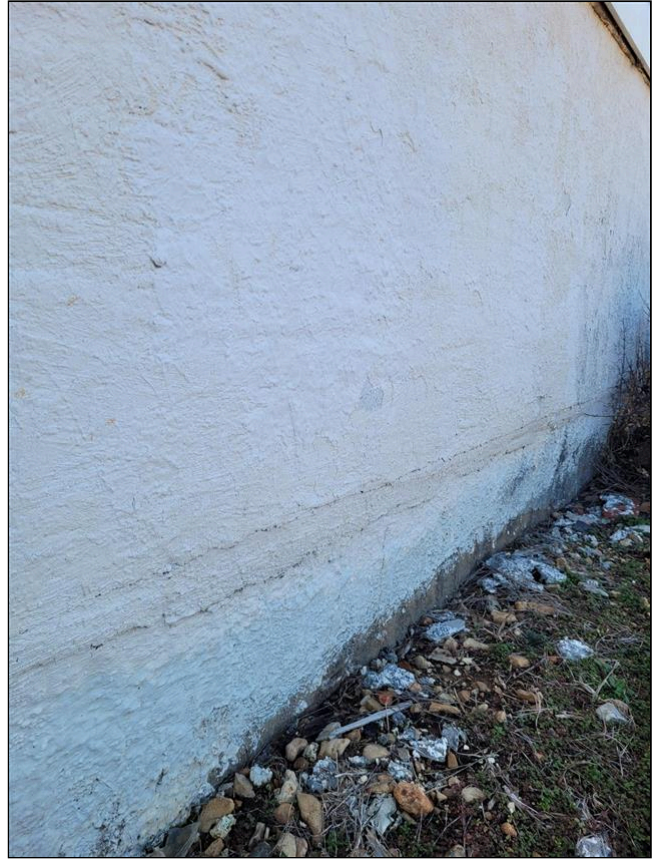
Inspected, Repair or Replace

(1) *There are numerous areas on the exterior with cracks. Some areas appear to be bulging.*

Water could enter and cause framing damage.



2.0 Item 1(Picture) Cracked exterior



2.0 Item 2(Picture) Possible bulging



2.0 Item 3(Picture) Cracked exterior



2.0 Item 4(Picture) Cracked exterior



2.0 Item 5(Picture) Cracked exterior



2.0 Item 6(Picture) Cracked exterior

(2) **All components should be scraped and painted, as needed, to prevent deterioration in the future.**



2.0 Item 7(Picture) Scrape/paint-as needed

2.1 Doors (Exterior)

Inspected, Repair or Replace

(1) **There are door and jambs with damage.**



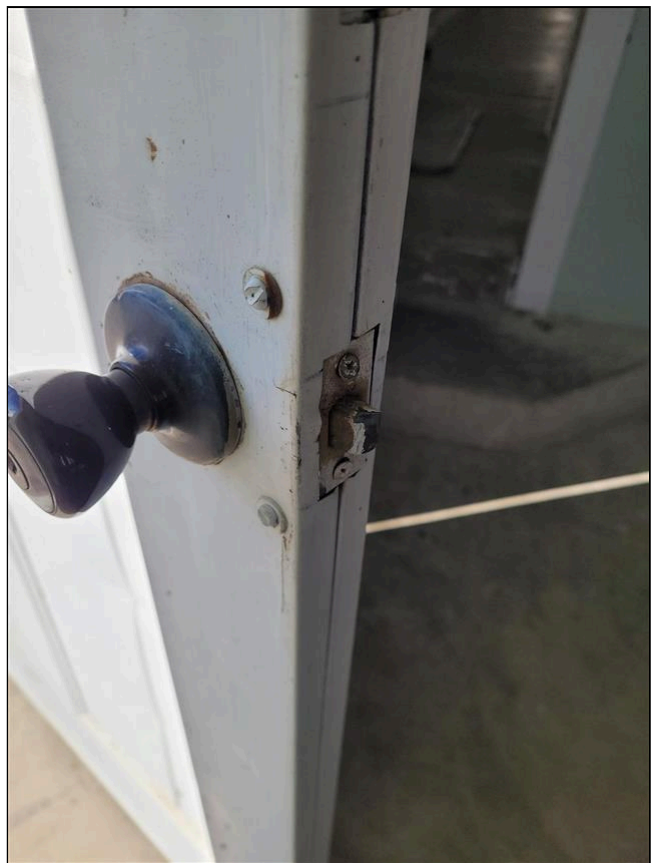
2.1 Item 1(Picture) Rotten jamb-Southeast side



2.1 Item 2(Picture) Rotten jamb-Southeast side



2.1 Item 3(Picture) Rust holes-Southeast side



2.1 Item 4(Picture) Repaired door-Southwest side



2.1 Item 5(Picture) Rotten jamb, rotten door-North door



2.1 Item 6(Picture) Water intrusion-South door

(2) **Replace all damaged threshold seals and weather stripping to prevent any water intrusion into the home and possible damage.**



2.1 Item 7(Picture) Replace all damaged threshold seals



2.1 Item 8(Picture) Unsealed door-Southeast door

(3) **All doors should be properly flashed to prevent water intrusion and framing damage.**



2.1 Item 9(Picture) No visible flashing

(4) **I recommend sealing around all doors to help prevent possible water intrusion and framing damage.**



2.1 Item 10(Picture) Exposed wood

2.2 Windows

Inspected, Repair or Replace

- (1) ***I recommend sealing around all windows to help prevent possible water intrusion and framing damage.***



2.2 Item 1(Picture) Sealant needed-windows

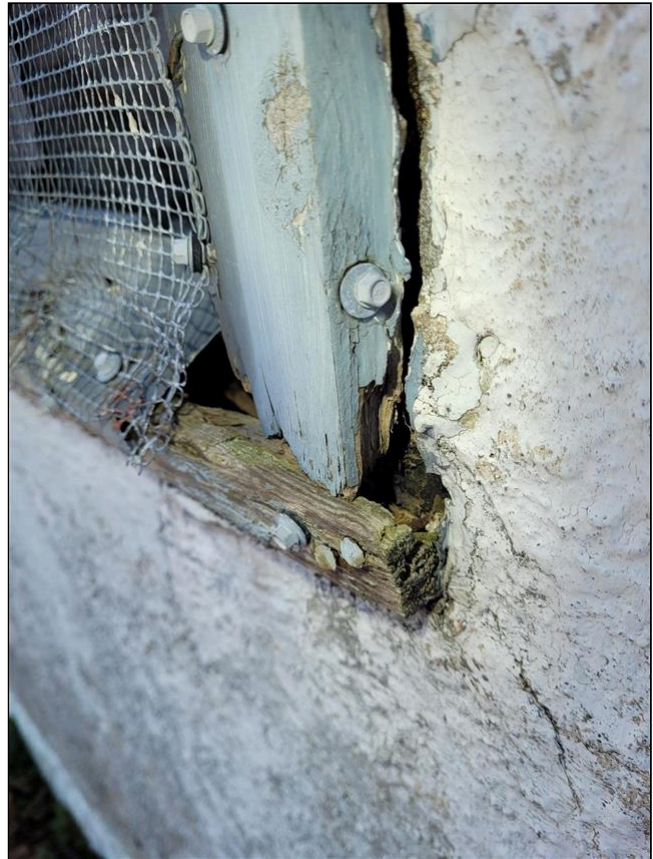


2.2 Item 2(Picture) Rotten window framing

(2) *The window pane on the North side is missing. Water intrusion into the wall is likely.*



2.2 Item 3(Picture) Missing pane-North side

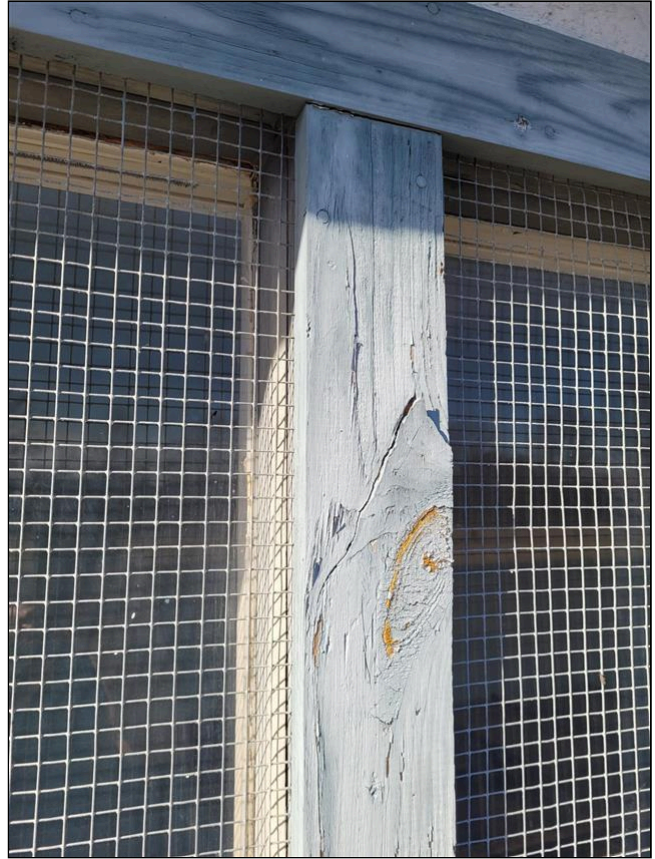


2.2 Item 4(Picture) Water intrusion likely

(3) **The windows and trim on the East side are aged and should be replaced.**



2.2 Item 5(Picture) Aged windows and trim



2.2 Item 6(Picture) Aged window trim

2.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings Inspected, Repair or Replace

I recommend installing a step and handrail system on the West side.



2.3 Item 1(Picture) Step and handrail needed-West side

2.4 Eaves, Soffits and Fascias
Inspected, Repair or Replace

There are areas that are aged/damaged and need replaced.



2.4 Item 1(Picture) Open soffit area



2.4 Item 2(Picture) Aged soffit material



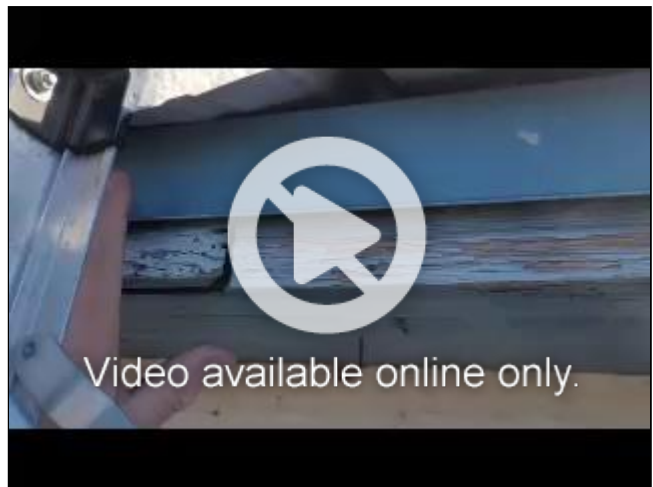
2.4 Item 3(Picture) Dropping fascia



2.4 Item 4(Picture) Hole-soffit



2.4 Item 5(Picture) Damaged soffit material



2.4 Item 6(Video) Loose fascia



2.4 Item 7(Picture) Aged soffit material

2.5 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

(1) All areas of grading on the exterior should cause the water to drain away from the foundation to prevent water intrusion.



2.5 Item 1(Picture) Improper grading method



2.5 Item 2(Picture) Improper grading method



2.5 Item 3(Video) Improper grading

(2) **Damaged concrete**



2.5 Item 4(Picture) Damaged concrete



2.5 Item 5(Picture) Damaged concrete

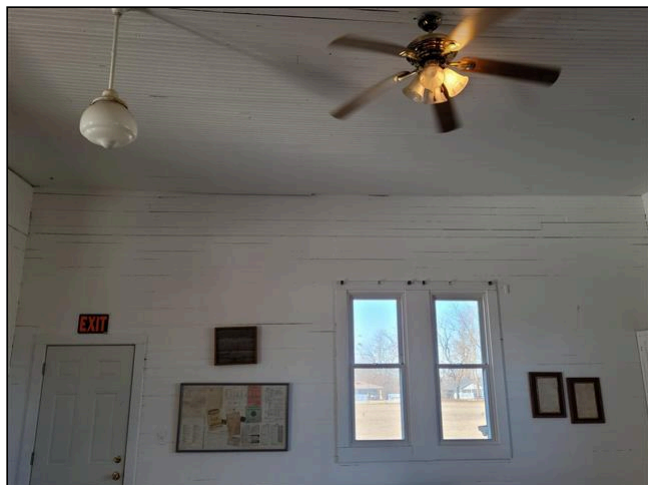
3. Interiors

3.0 Ceilings

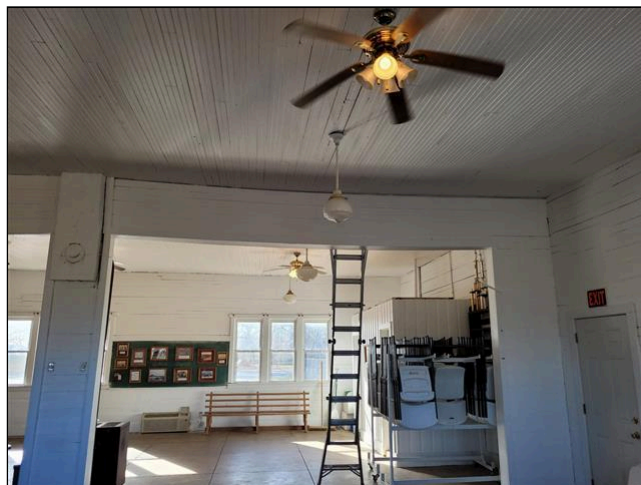
Inspected, Repair or Replace

The ceiling appears to be sagging on the West side.

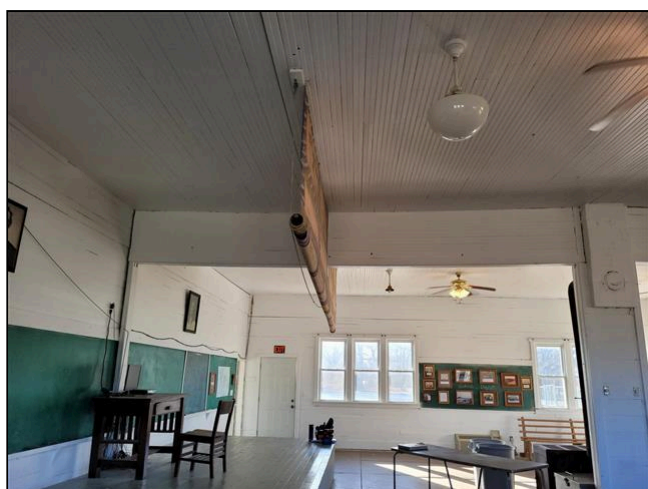
There is evidence of settling on the ceilings.



3.0 Item 1(Picture) West side ceiling-sagging



3.0 Item 2(Picture) Main beam-appears to be sagging



3.0 Item 3(Picture) Main beam-appears to be sagging

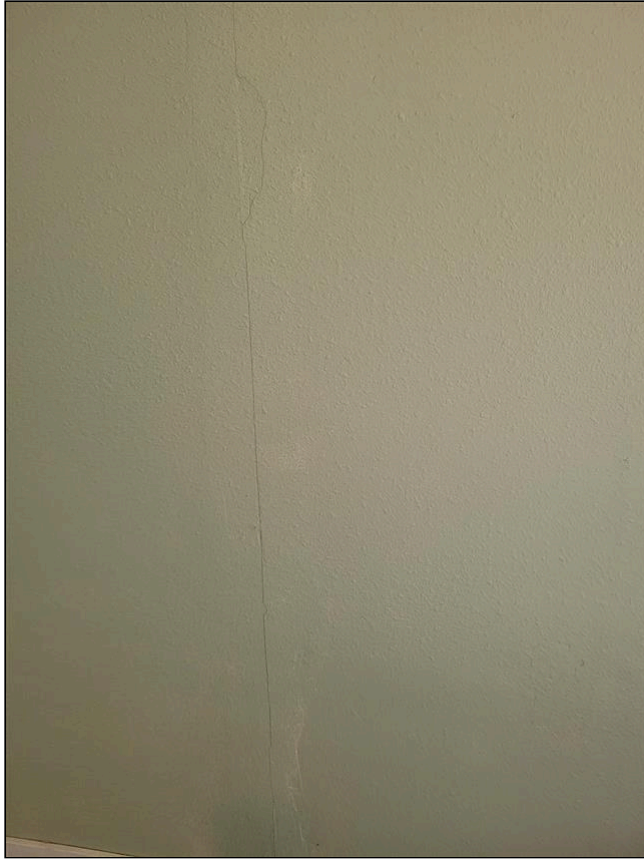


3.0 Item 4(Picture) School room ceiling-settling crack

3.1 Walls

Inspected, Repair or Replace

The following walls had issues: East school room and main room.



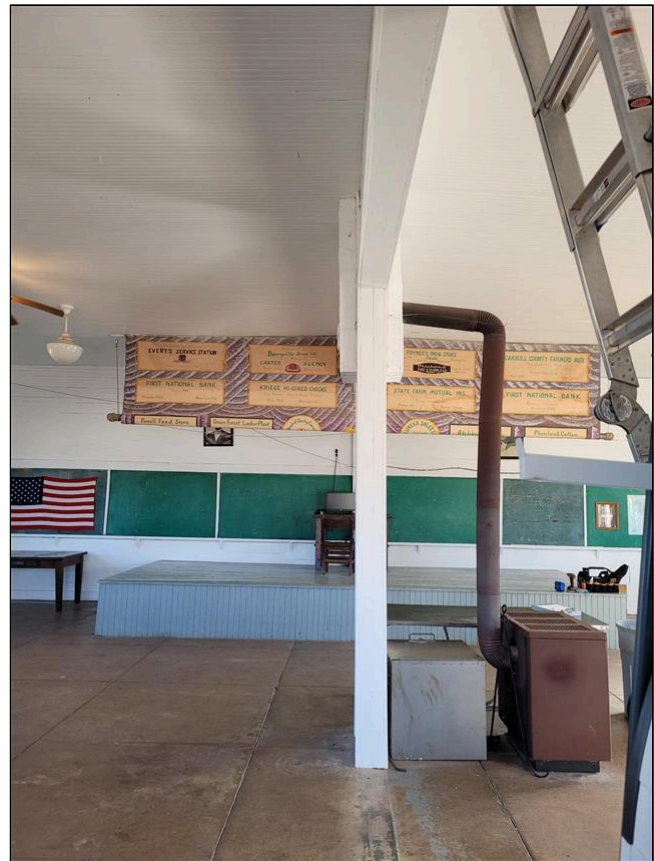
3.1 Item 1(Picture) East school room wall-settling cracks



3.1 Item 2(Picture) East school room wall-settling cracks



3.1 Item 3(Picture) East school room wall-possible wood destroying insect damage



3.1 Item 4(Picture) Main room supporting wall-appears to be leaning to the North

3.2 Floors

Inspected, Repair or Replace

(2) *The floor had several settling cracks and gaps on the slab.*



3.2 Item 3(Picture) Floor-gap in concrete



3.2 Item 4(Picture) Floor-settling cracks



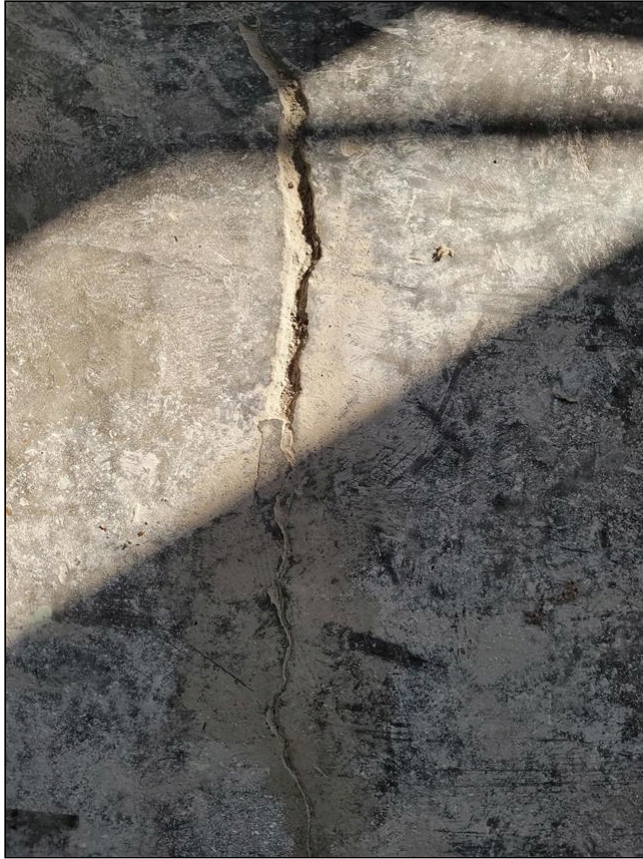
3.2 Item 5(Picture) Entry door floor-gap



3.2 Item 6(Picture) Floor-damage



3.2 Item 7(Picture) Floor-settling cracks



3.2 Item 8(Picture) East school room floor-large settling cracks



3.2 Item 9(Picture) Front door ramp-loose

3.3 Steps, Stairways, Balconies and Railings

Inspected, Repair or Replace

A hand rail system is needed for the stage area and for the steps entering the East school room.



3.3 Item 1(Picture) Handrail-needed for the stage

3.4 Counters, Cabinets and Trim

Inspected, Repair or Replace

There is some damaged window trim.



3.4 Item 1(Picture) Damaged window trim-bathroom



3.4 Item 2(Picture) East school room trim-possible would destroying insect damage

3.5 Doors (representative number)

Inspected, Repair or Replace

(1) **The bathroom doors were damaged and are missing the latches.**



3.5 Item 1(Picture) Men's bathroom door-missing latch



3.5 Item 2(Picture) Men's bathroom door-damaged



3.5 Item 3(Picture) Women's bathroom door-missing latch



3.5 Item 4(Picture) Women's bathroom door-damaged

3.6 Windows (representative number)

Inspected, Repair or Replace

There are windows were double, single, and fixed hung with damage to several exterior screens.

The East school room windows were fixed and one was missing the pane.

There were low moisture levels around the North window at the time of the inspection.



3.6 Item 1(Picture) Window exterior screens-damaged



3.6 Item 2(Picture) East school room window-missing pane



3.6 Item 3(Picture) East school room window area-low moisture reading

3.7 Pest control needed (insects, vermin, animals, etc....)

Inspected, Repair or Replace

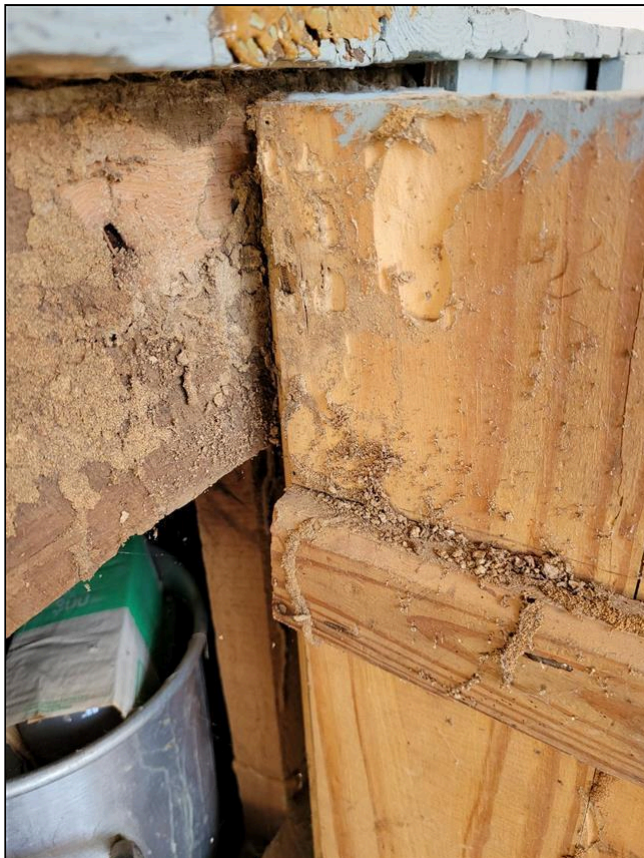
There is evidence of wood destroying insect activity in the building. Further investigation is recommended.



3.7 Item 1(Picture) Wood destroying insect activity



3.7 Item 2(Picture) Wood destroying insect activity



3.7 Item 3(Picture) Wood destroying insect activity



3.7 Item 4(Picture) Wood destroying insect activity

4. Structural Components

4.0 Foundations, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Inspected, Repair or Replace

(1) There are walls that appear to be sitting on wooden components. Deterioration is present. Concrete footings may not be present.

Previous evidence of wood destroying insect activity is present.

There are cracks on the foundation area on the exterior.



4.0 Item 1(Picture) Wood-no visible concrete footing



4.0 Item 2(Picture) Wood destroying insect activity



4.0 Item 3(Picture) Cracks



4.0 Item 4(Picture) Cracks

4.1 Walls (Structural)

Inspected, Repair or Replace

Water may be entering the wall areas.

There is evidence of wood destroying insect activity. Further investigation is recommended.

4.2 Floors (Structural)

Inspected, Repair or Replace

The slab has areas of settling. Further investigation may be needed.

4.3 Ceilings (Structural)

Inspected, Repair or Replace

There are areas that appear to have insufficient support on the ceiling joist areas. Sagging appears to be present.

Interior walls appear to have been removed. This appears to be allowing settling to happen to the ceiling joists.

The spans on the framing components appear to be to long without supporting walls.

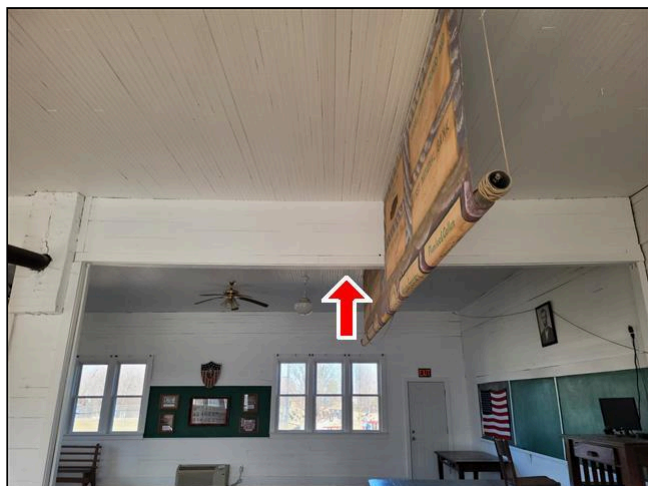
I recommend a qualified professional investigate all areas further and advise on all repairs that are needed.



4.3 Item 1(Picture) 1"x6" ceiling joists



4.3 Item 2(Picture) 1"x6" ceiling joists



4.3 Item 3(Picture) Sagging



4.3 Item 4(Picture) Sagging

4.4 Roof Structure, Attic, and Attic ladder

Inspected, Repair or Replace

(1) There are many areas of roof framing that are not to current standards. Many areas appear to need beams and supports added to prevent possible failure in the future.

There are areas that are not supported correctly. This appears to be allowing settling to happen.

Many areas have missing roof purlins. I recommend a qualified professional investigate all areas further and advise on all repairs that are needed.



4.4 Item 1(Picture) Sagging framing area/incorrect anchoring method



4.4 Item 2(Picture) Missing purlins



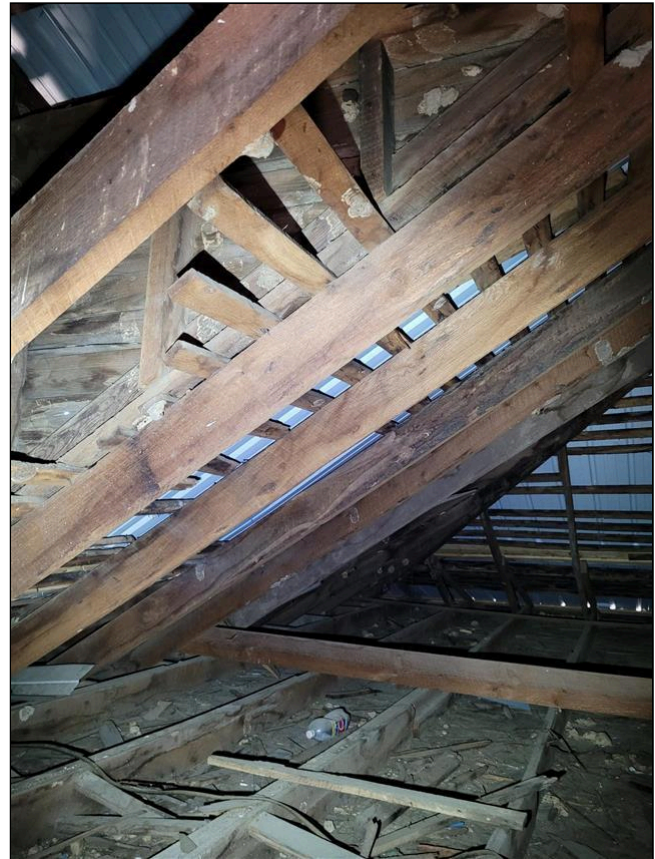
4.4 Item 3(Picture) Missing purlins



4.4 Item 4(Picture) Missing purlins



4.4 Item 5(Picture) Improper framing method



4.4 Item 6(Picture) Missing roof supports



4.4 Item 7(Picture) Improper roof support anchoring method

5. Plumbing System

5.0 Plumbing Drain, Waste and Vent Systems

Inspected, Repair or Replace

The DWV pipe above the bathrooms does not exit through the roof. DWV pipes should vent to the exterior.



5.0 Item 1(Picture) DWV pipe-not exiting roof area

6. Electrical System

6.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

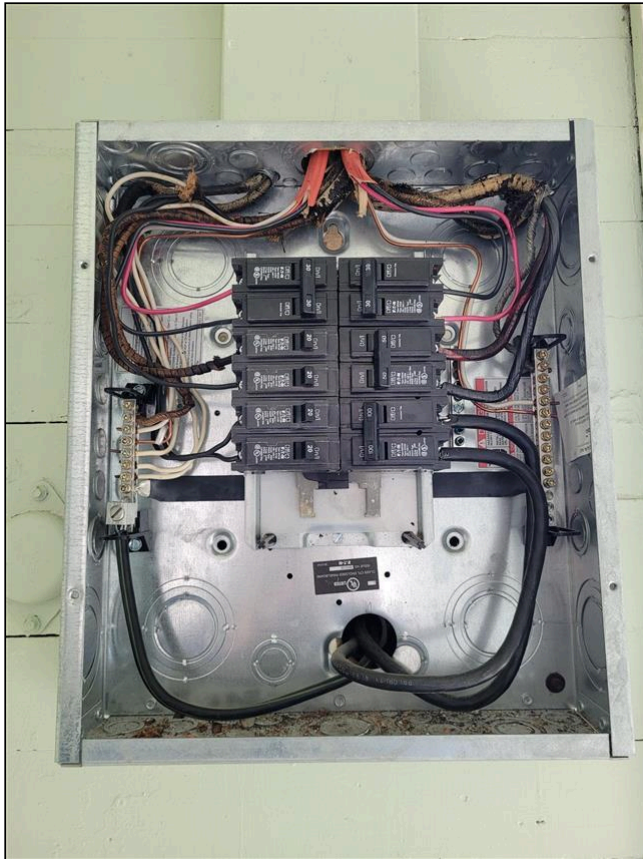
Inspected, Repair or Replace

(1) *I recommend a licensed electrician evaluate the entire electrical system and advise on all repairs that are needed.*

(3) *Main panel*

Bushings are needed in the main panel to prevent wire chafing and possibly energizing the panel.

There is aged fabric wiring installed in the panel.



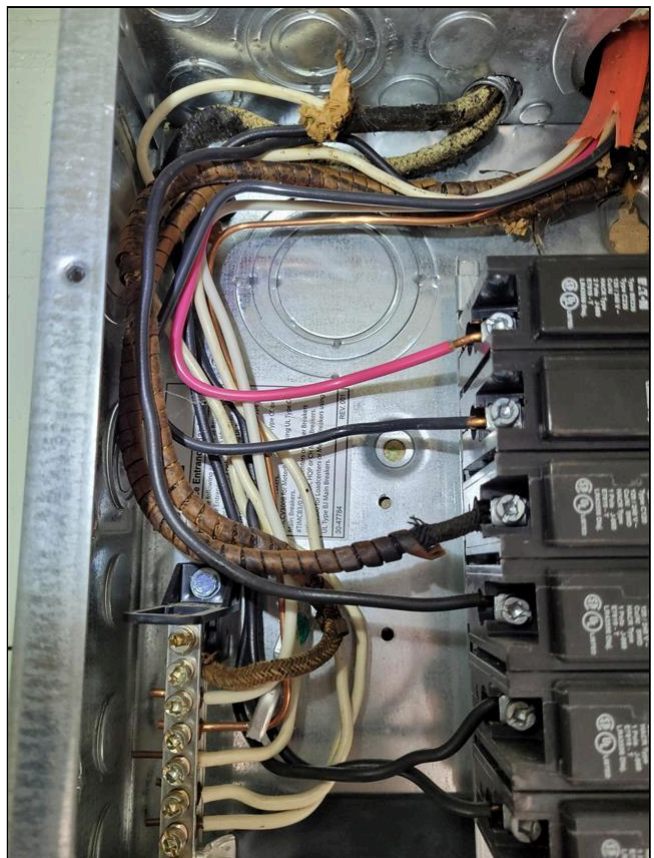
6.1 Item 2(Picture) Main panel



6.1 Item 3(Picture) Bushing needed

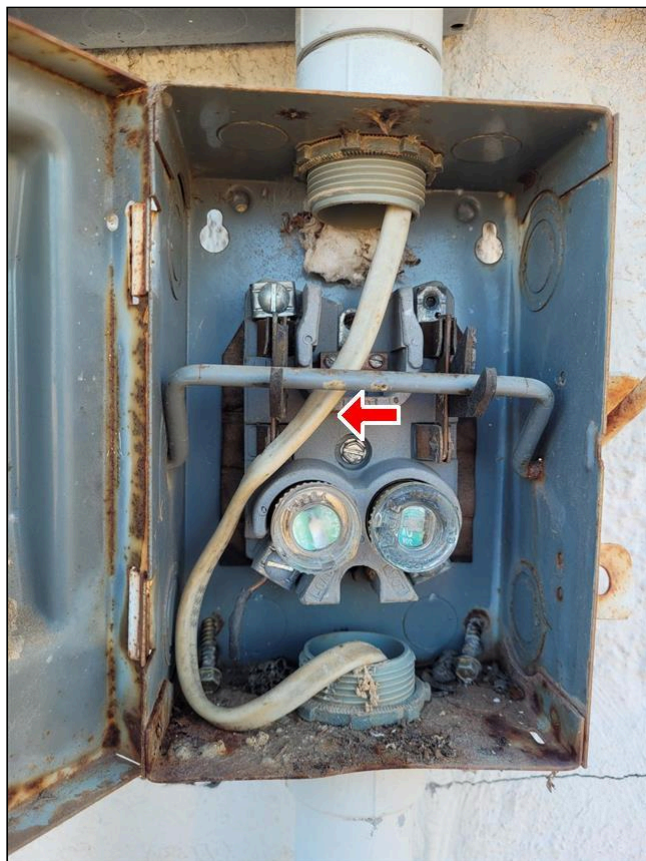


6.1 Item 4(Picture) Bushing needed



6.1 Item 5(Picture) Aged fabric covered wiring

(4) The wire in the fuse panel is interfering with throwing the switch. The panel did not appear to have power at the time of the inspection.



6.1 Item 6(Picture) Wire-interference

(6) Anchor the service disconnect panel to the exterior wall.



6.1 Item 8(Picture) Anchor disconnect panel

6.2 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

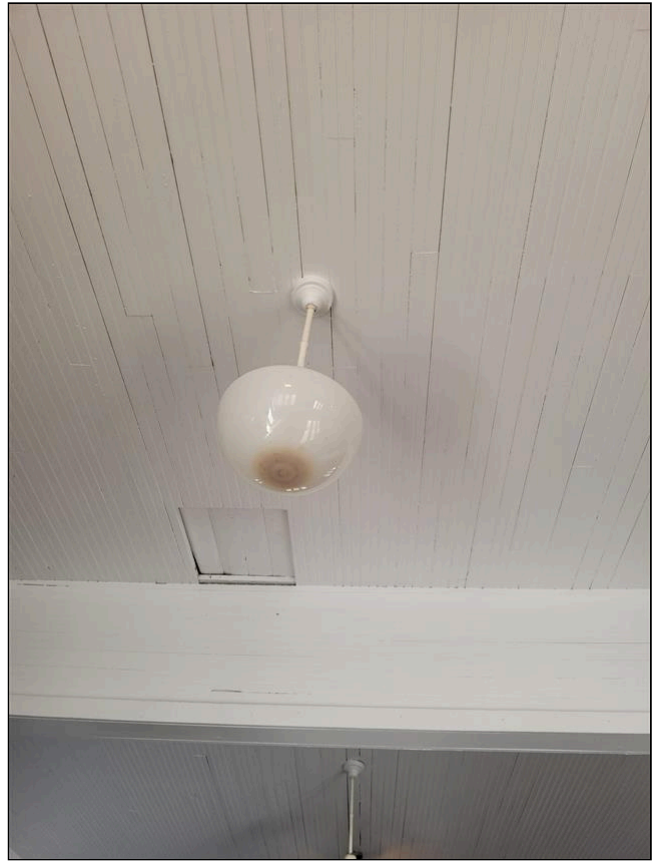
The dimmer switches appeared to be overheating within 30 minutes of our arrival.

The lights in the main area did not work at the time of the inspection.

The main area had exposed wiring. Conduit is recommended to prevent accidental damage to wires.



6.2 Item 1(Picture) Dimmer switches-overheating/no switch covers



6.2 Item 2(Picture) Main area light-did not work



6.2 Item 3(Picture) Exposed wiring-conduit needed



6.2 Item 4(Picture) Exposed wiring-conduit needed

- 6.3 Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure

Inspected, Repair or Replace

There were open grounds throughout the facility.

Most of the outlets were 2 prong outlets.

Aged fabric wiring is present.



6.3 Item 1(Picture) Electrical outlets-open grounds



6.3 Item 2(Picture) Aged fabric wiring

- 6.4 Operation of GFCI & AFCI (Ground/ARC Fault Circuit Interrupters)

Not Inspected, Not Present, Repair or Replace

GFCI's should be installed in all areas where required.

None were installed.

- 6.6 Smoke Detectors

Not Inspected, Not Present, Repair or Replace

I recommend the installation of smoke detectors according to manufacturers instructions.

- 6.7 Carbon Monoxide Detectors

Not Inspected, Not Present, Repair or Replace

We do not inspect carbon monoxide detectors. I recommend that they be installed according to the manufacturer's instructions.

7. Heating / Central Air Conditioning

7.1 Cooling and Air Handler Equipment

Not Inspected

The A/C units were not tested in cooling mode due to the outside air temperature being 65 degrees or less. Testing can cause permanent damage to the compressor. No AC units were tested in cooling mode.

7.3 Chimneys, Flues and Vents (for fireplaces, gas water heaters or heat systems)

Not Inspected, Repair or Replace

(1) *The chimney liner was not inspected by our company. I recommend a qualified chimney sweep inspect for safety.*

(2) *The bricks under the chimney appear to have been removed. This could result in collapse of the brick chimney.*



7.3 Item 1(Picture) Removed brick chimney



7.3 Item 2(Picture) Possible settling of bricks

7.4 Solid Fuel Heating Devices (Woodstove)

Not Inspected, Repair or Replace

(1) *I recommend that a qualified chimney sweep inspect, and clean the flue pipe before using the fireplace/woodstove.*



7.4 Item 1(Picture) No visible chimney cap

8. Insulation and Ventilation

8.0 Insulation in Attic

Not Inspected, Not Present, Repair or Replace

I recommend that the attic space be insulated to an R-38 factor for maximum efficiency.

8.1 Ventilation of Attic and Foundation Areas

Inspected, Repair or Replace

The attic should be sealed to prevent access to animals.



8.1 Item 1(Picture) Damaged attic vent material

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment,

plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Inspection Agreement

This contract is an agreement between the Client listed below, and Kevin Putney D/B/A Abba Home Inspections and does not extend to any third party(s), to perform an inspection of the home or building listed according to the "Arkansas Standards of Practice and Code of Ethics. **Payments must be made at the time of inspection, before the inspection report will be sent, unless previous arrangements have been made.** These standards of practice inform you of what a home inspector should report, and what is not expected of the home inspector to report. This inspection is a limited visual inspection as a generalist. Areas that are inaccessible are not part of this inspection, including but not limited to: behind walls, furniture, under rugs, inaccessible areas and below soil. The Client signing below assumes all risk for potential problems or conditions including those areas not accessible by the inspector. The Client assumes all risk for problems noted in this report that may reveal further damage during a repair or further investigation by a qualified professional. Your signature below is your acceptance of these terms and conditions. A home inspection is not technically exhaustive and the inspector does not dismantle or perform testing that is destructive. The inspector is limited by this inspection agreement and cannot be expected to find or discover all defects in this building. The purpose and scope of this inspection is to provide you with a better understanding of the property's condition as observed at the time of the home inspection. It will include an inspection of: Structural Components, Exterior, Roofing, Garage, Plumbing, Electrical, Heating, Central Air Conditioning, Interiors, Insulation, Ventilation and Fireplaces and Solid Burning Fuel Appliances.

Our inspection does not include any part of testing whether or not these conditions exist such as: Asbestos, Formaldehyde, Mold or Fungi, or bio-aerosols. Soil or geological conditions. Pools and/or equipment related to pools, spas or Jacuzzis. Pests or Termites or wood eating insects. Elevators, solar systems. Refrigeration units, water filtration units, security alarms, intercoms, phone, cable, satellite, window treatments or mini-blinds, oven clocks or timers or cleaning features, central vacuum, solar systems or lightning arrestors. This inspection does not include a test on "Synthetic Stucco" as this is a separate test and contract. Abba Home Inspections will not operate heating or cooling systems in temperatures that may cause damage to the unit. Air conditioning systems will not be operated by Abba Home Inspections when outside temperatures are 65 degrees or less. We do not inspect heat exchangers for cracks. Plumbing and electrical systems must be turned "on" for the inspection of these areas and components. Well or spring systems, pressure, depth, water level or condition is not part of this inspection. Furnaces, must be "on" or capable of being turned on by using normal operating controls. **Pilot lights must be "lit"** in order to inspect these components or systems (i.e. gas fireplaces, wall heaters, water heaters). Septic field inspections are not inspected and are not part of this contract. Abba Home Inspections does not inspect for code compliance or ordinances. This inspection does not include detached buildings, unless otherwise specified.

The home inspection report is an "opinion" of Abba Home Inspections. Our interpretation of what is good or fair, may be different than yours. You are encouraged to be present at the time of your inspection so we will both have an understanding of each others perception. The Client may participate

in the inspection, by doing so, participation shall be at the clients own risk for falls, injuries, property damage, etc. The Client assumes the risk associated. It is discouraged that this be used as an opportunity for family or friends to view the home; the inspector may deny access of others to the home at their discretion. The Client accepts responsibility for incomplete information if the Client did not attend the inspection. Our purpose is to determine whether or not a system or component (electrical, heating, visible structure, etc.) is functioning for which it was intended. We are not responsible to determine all that may be wrong with that system or component, just whether or not a second opinion is needed, such as a licensed electrician or HVAC contractor, or any specialist for that field or trade. They determine what steps are necessary to correct. Their troubleshooting may reveal additional items not mentioned in this report. Any item mentioned in the report may need additional inspections by other qualified specialists. It is up to the Client, who will be the person signing this contract, to seek qualified specialists to investigate further any item or component that is commented on in the inspection report before closing. We are not responsible for items mentioned in this report. We are not a guarantee nor do we guarantee any items or opinions described on this report. This inspection is to reduce the risk of finding a potential problem, not to eliminate them. We are not a home warranty company nor do we carry insurance on warranty claims. The limited liability of the inspector and Abba Home Inspections and the inspection report to the Client is limited to a refund of the fee paid for the inspection and report. This inspection is for the Client listed below and by the Client's signature states that this inspection is not to be sent or transferred to any third party without written consent from below Client.

By payment of our fee and the Client's signature, the Client acknowledges and understands and agrees to the statements and terms contained herein, and will hold Abba Home Inspections and myself harmless to any claims made. The Client is limited to a refund of the fee paid for this inspection and report. This limitation applies to anyone who claims damages or expenses of any kind incurred due to the errors or omissions in this inspection and report.

The cost of the home inspection is based upon the square footage of the home to be inspected. Attached garages, sunrooms, etc. are added into the square footage. **Payments must be made at the time of inspection, before the inspection report will be sent, unless previous arrangements have been made.** Abba Home Inspections agrees to provide you with a report within three business days or sooner by providing your email address.

Abba Home Inspections **MUST RECEIVE A COPY OF THIS AGREEMENT SIGNED BY THE CLIENT BEFORE THE INSPECTION CAN BEGIN. Our fax number is 479-559-2900.**

Please let realtor know they will receive a copy if you agree to this agreement.

Client Name: Rob Fairweather

Date: 1/17/2023

Signature Kevin Putney Abba Home Inspections

Inspector: Kevin Putney H.I.-1794